



CHAPEL CROSSINGS

Residential Design Guidelines

- Development Manager –
Crown Community Development
Wesley Chapel, Florida 33544
(813) 994-2277
Fax: (813) 973-1687

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Sections will be added and updated as needed. Chapel Crossings reserves the right to revise and update the Design Guidelines at any time. Contact the DRC to make sure that you have the most current version.

Chapel Crossings Community Overview

Chapel Crossings located in eastern Pasco County in Wesley Chapel, is a family oriented residential community offering a wide selection of housing types and price categories ranging from multi-family apartments and townhomes to attached and detached homes. *Chapel Crossings* offers a variety of amenities including the community center, convenient parks and a bicycle path system. In addition to its residential neighborhoods, *Chapel Crossings* master plan may also contain areas devoted to retail, office and governmental uses.

The Master Developer

The Master Developer of *Chapel Crossings* is Thornwood Associates, LLC, and Crown Community Development is the development manager.

The Master Developer provides design and construction of the infrastructure network necessary to proceed with home construction. The infrastructure includes the following:

1. Installation of public roadways with street lights.
2. Installation of domestic and fire water lines, reclaimed water lines, sanitary sewers and common stormwater management flood control systems
3. A distribution system for telephone, CATV, and electric service.
4. Approval of the installation of parkway street trees in front of each residence.
5. Development of common spaces such as project entrances and landscape easements, recreational features and road rights-of-way.
6. Establishment of a Property Owners' Association. During the initial development, the Association will be managed by the Master Developer.
7. Creation of a Community Development District to finance, construct and maintain common areas, parks and recreational facilities.

Introduction

Design Guidelines Overview

All homes proposed for construction in Chapel Crossings are subject to the review and approval of the Chapel Crossings Design Review Committee (DRC). The Committee will review and approve all aspects of new construction (and later modifications) of the home including landscaping, patios and decks, swimming pools, whirlpools or spas, screened enclosures, shutters, awnings, fences, accessory buildings, play structures, painting or other alterations of a dwelling including doors, windows and roof, and other exterior construction or outdoor ornamentation.

Design Guidelines are established to ensure and implement consistent and high-quality design standards. They will serve as a framework for design concepts and provide performance and quality standards that will guide the design and construction of the variety of housing types in Chapel Crossings. The developer reserves the right to establish more restrictive Design Guidelines for individual neighborhoods within Chapel Crossings.

No home may be started without the DRC's final approval of the building plans and specifications. The plans and specifications must meet the minimum Design Review Submittal Requirements outlined on page four.

Thornwood Associates, LLC, the Master Developer, reserves the right to revise and update the design criteria. Performance and quality standards can be revised at any time in order to respond to future community requirements as well as to new product development and innovations within the home building industry.

Section One: Review Process

Design Review Committee

The Design Review Committee (DRC) shall consist of the Master Developer until all new homes within the project have been completed or the Master Developer elects to assign its DRC responsibilities to others.

Functions of the Committee

1. The DRC will evaluate each of the housing units proposed for construction to assure conformity with the design criteria, performance and quality standards set forth in the Design Guidelines as well as compatibility with the adjoining sites and common spaces.
2. If conflicts arise between the submitted application and the Design Guidelines, the DRC shall have the sole discretion to interpret the standards and render a decision.
3. The DRC has the right to grant variances from the Design Guidelines in accordance with the Declaration of Covenants, Conditions and Restrictions (CCR's).
4. The DRC has the right to monitor and oversee the design and construction process in order to ensure conformance with the approved plans and the standards set forth in the Design Guidelines.
5. The DRC shall review and respond to each submittal in writing. Unapproved submissions shall be returned to the submitter for revision and resubmittal.

Section One: Review Process

Design Review Submittal Requirements

Initial review will not begin until all submittals are received. A complete design submittal to the Design Review Committee shall include the following:

1. One copy of a scalable survey/site plan of the lot at a minimum scale of 1"= 20'. Base data to be shown on survey/site plan shall include lot lines and dimensions, easements, location of lot corners, topography, existing and proposed grades, existing significant vegetation, including all existing trees over 4 inches in diameter to remain or be removed. The plan should include exact location of all structures, driveways, swimming pools, walls, garbage can pads, air-conditioning units, walkways, patios, screened enclosures and decks.
2. Building floor plans, sections and all elevations at a scale not less than 1/8" = 1'.
3. Exterior building materials and color scheme including any exterior stone, brick or siding type and color; roof type and color; front door color, trim color(s) and accent colors.
4. One copy of a landscape plan showing existing and proposed grading contours and landscape concept, decks, patios, walkways and lighting. Irrigation system plans are required on all lots. The landscape plan must show all new plantings and existing trees. The quantities, sizes and installed unit prices of plant materials must be noted. Common names of all plant material must be indicated on the plans.
5. A builder's initial submission of models and elevations to be offered for sale within a neighborhood shall be reviewed by the DRC. In addition, the DRC shall review the color palette for all exterior walls, trim, roofs, etc. The review fee for each individual home within a neighborhood shall be \$125.00 payable to Thornwood Associates, LLC. Should, however, a submission be rejected by the DRC because the builder failed to meet the guidelines, a subsequent review is required. The DRC reserves the right to charge the builder a \$100.00 design review fee for the subsequent review.
6. A builder's or owner's submission for the addition of a pool and/or screened enclosure at any time after the home's initial submittal shall require a review fee of \$25.00.
7. A builder's or owner's submission for the addition of a fence will require a review fee of \$25.00.
8. All builder fees for design review are payable to Thornwood Associates, LLC at the time of submittal. (Residents submitting for modifications shall pay fees to the Chapel Crossings Property Owners' Association, Inc.)

A *Design Review Committee Submittal Form* must accompany all submissions. The Committee reserves the right to take as many as fourteen (14) working days to approve or disapprove any submissions.

Section One: Review Process

Modifications

The Design Review Committee (DRC) shall have exclusive jurisdiction over modifications, additions, or alterations made to existing structures in accordance with the CCR's and Master Design Guidelines. All modification requests must be submitted using the Owner/Resident Modifications Submittal Form found in Exhibit B.

Ordinance and Standards Compliance

All homes constructed in Chapel Crossings are designed, built and sold by independent homebuilders who are not employees or agents of Crown Community Development. As such, the Design Review Committee approval does not substitute for, or ensure, compliance with the requirements of all public agencies having jurisdiction over the project, including but not limited to Pasco County. Each builder and homeowner must comply with all zoning and building regulations, agreements and ordinances established by Pasco County, applicable at the time of purchase and development.

Any changes required to comply with applicable municipal codes that are subsequent to the DRC's final approval must be resubmitted to the DRC for its approval. The Committee may request a meeting to discuss modifications of the drawings or specifications.

Section Two: Site Standards

Site Standards

The Master Developer has provided a master neighborhood grading plan in addition to other planning and implementation guidelines and procedures, in an effort to minimize alteration to the land and impact to the ecosystem. Care shall be taken to preserve vegetation, topography and the natural grades and drainage systems. This philosophy must be followed at all levels of development.

All lot grading and top of foundation elevations must be planned and constructed in accordance with the Chapel Crossings master grading plan, and the Pasco County lot grading ordinances. Any deviations from the master grading plans, for any lot, must be approved in writing in advance.

Prior to commencing clearing and construction, a silt fence must be installed around the perimeter of the lot with the exception of the drive entrance.

Buffer Areas - Screen Planting Easements

Easements have been provided to buffer some adjacent roadways. No buildings, fences, driveways or permanent structures shall be constructed within screen planting easements.

Tree Preservation

No trees greater than 4 inches in diameter at breast height may be removed without the written approval of the Design Review Committee. Locations, sizes, and species of all existing trees must be shown on lot surveys and building site plans submitted for design review. Pasco County's tree preservation ordinance must also be followed.

Section Three: Home Construction Standards

The information provided in Section Three covers standards for all neighborhoods in Chapel Crossings. For additional information concerning specific neighborhood standards, please consult Section Six.

Monotony Controls

Housing types or styles should not be repetitive from lot to lot along the neighborhood street. Rather, a variety of houses are encouraged. The monotony controls exist to prevent duplicate houses from being built in close proximity to each other. Houses shall be required to have sufficient differences in both front elevation and color schemes which, in the opinion of the DRC, make them significantly different from each other. They are not designed to preclude all similarities between Properties.

The following situations are subject to the monotony code:

1. Two houses on each side of a proposed home that all face the same street.
2. The house directly across the street from a proposed home.
3. One house on each side of the house directly across the street from the proposed home.
4. On small, tight cul-de-sac circles, any house that faces or is diagonally across the cul-de-sac from a proposed home.

Building Layout and Widths

Housing units shall be sited and oriented to best take advantage of views and open space. View orientation towards other units shall be avoided wherever possible.

Staggering building setbacks from road right-of-ways should be utilized to provide variety and eliminate a regimented and monotonous streetscape. Staggering portions of the facades of individual units is also encouraged to achieve a similar effect.

The maximum widths of single-family detached residences and villas are determined by the side setback requirements that appear in Section Six: Chapel Crossings Neighborhoods.

Section Three: Home Construction Standards

Building Heights

The height of single-family detached residences shall be a maximum of thirty-five (35) feet. Residences shall not be more than two-stories. Trees of suitable height shall be planted near the building to help provide the proper vertical scale relationship.

Building Materials and Color

Exterior surfaces will be generally of natural materials that blend and are compatible with the natural Central Florida landscape. Wood or masonry such as brick, stone, wood, split rock, or stucco may be used but are subject to approval by the DRC. The DRC may require a sample of any exterior materials. Prior to ordering and/or installing any materials, please consult the DRC to determine if a sample will be required for DRC review. No plywood, vinyl, T-111, aluminum siding or hardboard composition material will be approved on any area of the residence, however the DRC will consider new construction materials and technologies.

The color of exterior materials must be generally subdued to enhance the colors of the natural landscape. Earth tones, generally muted, are recommended, although occasionally accent colors used with restraint may be approved by the DRC.

A color sample must be submitted for all exterior colors proposed for the residence including roof, exterior walls, trims, doors, enclosures and structures for review and approval by the DRC prior to construction. Samples must be identified by the manufacturer's code. All gable ends shall be constructed of materials compatible to the house.

Building Elevations

The front elevation of all homes shall have banding or detailing around the exterior windows. Side and rear elevations of houses on lots adjoining parks, common areas, rights-of-way and open space shall have banding or detailing around exterior windows similar to the front elevation. The side elevation of houses on corner lots shall have banding or detailing around exterior windows on the side facing the roadway. Two-story homes on corner lots shall also have banding around the upper floor windows of the rear elevation.

Major roof ridgelines that terminate in a gable end condition on the rear elevation of the home are not permitted adjacent to Chapel Crossings' collector roadways.

Section Three: Home Construction Standards

Building and Structure Projections

All projections from a residence or structure including, but not limited to, vents, chimney flues, gutters, downspouts, fences, utility boxes, porches, railings, and exterior stairways shall match the color of the surface from which they project or shall be of a compatible color subject to approval of the Design Review Committee.

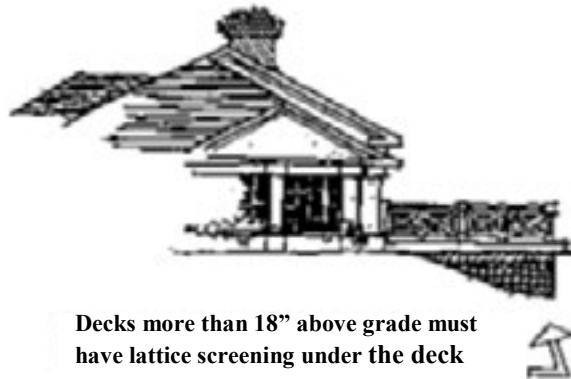
Deck/Patio Installation Specifications

All proposed deck/patio installations must be submitted to and approved by the Chapel Crossings Design Review Committee prior to installation (See form found in [Exhibit B](#)).

The following information must be included with each submittal:

1. One copy of a final survey with the house footprint indicating the exact location, size, and distance from side and rear property lines of the proposed deck/patio installation. Hand drawn sketches of lot boundaries are not acceptable.
2. The complete dimensioned construction details of the deck/patio including: size, type of lumber and other materials, finish, style, height from ground to baseboard, and vertical elevation details of all railings, seats, privacy walls and stairs.
3. If relevant for patio enclosures, see Screened Enclosures on Page 11.

Material Requirements: Approved deck materials are pressure-treated pine, redwood, cypress and ultra-violet resistant PVC. Patios must be of concrete, brick or interlocking paver materials.



Color Requirements: Wooden decks must be left natural or stained in clear or wood tone colors only. Painted decks must match the main exterior color of the house or be painted white. Submit a color sample for PVC decks. Patio concrete, paver or brick material colors should complement the house's main exterior color.

No deck/patio construction is allowed to extend into a screen planting easement or required side setback. No deck shall be constructed within five (5) feet of a rear lot line. Decks more than 18" above grade must have lattice screening under the deck.

Section Three: Home Construction Standards

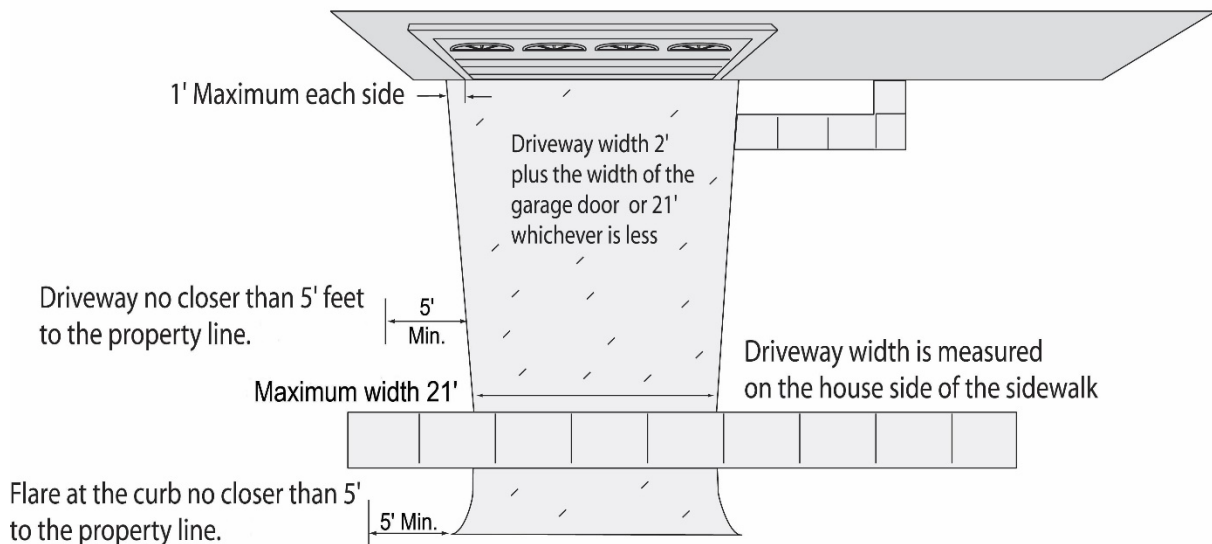
Garages and Parking

Driveways - Driveway width shall be no more than width of garage doors plus two (2) feet (one foot maximum on each side of doors) as measured at the house.

Homes constructed with three-car garages (only on lots sixty feet in width) shall have driveway widths of no more than twenty-four (24) feet as measured at the house. The maximum width at the edge of the sidewalk (house side) shall be no more than twenty-one (21) feet. The intent of this provision is to provide a “tapered” edge leading to the three-car garage to minimize driveway pavement adjacent to the sidewalk. Any proposed side-load or carriage-load garages and driveways will be subject to the review and approval of the DRC.

A minimum five (5) foot buffer between the edge of pavement and the property line must be provided. Flares at curb are required for ease of driver when entering driveway. Edge of driveway pavement or flares at curb shall be at no time closer than five (5) feet to the property line.

All driveway surfaces may be broom-finished concrete, interlocking brick pavers, or stamped concrete. No mulch or blacktop asphalt driveways will be allowed. Approval of brick paver or stamped concrete driveway is contingent upon execution of Agreement with Chapel Crossings Community Development District (contact DRC for Agreement) as well as design and material approval.



Garage Doors - Garage doors shall be equipped with automatic garage door openers. All garage doors must be paneled and/or provide windows.

Parking - No overnight, on-street parking will be allowed and no boats, trailers, or recreational vehicles of any kind shall be allowed to be stored outside the residence per Pasco County ordinance. Exterior parking pads constructed of any material, whether in front yards, side yards or rear yards are strictly prohibited throughout Chapel Crossings.

Section Three: Home Construction Standards

Pools, Spas and Enclosures

Pools and spas shall be located with respect to the main structure and shall not extend beyond the side walls of the home as measured at the rear of the home. Features such as existing trees, noise from pool equipment and views from adjacent properties can seriously impact the usage and enjoyment of pools and spas and should be carefully considered.

Swimming pools shall not be above ground. Swimming pools shall be designed to connect visually to the residence through landscaping and/or courtyard paving. Swimming pools shall not be permitted on the street side of the residence.

All pool and spa equipment shall be screened so that it is not visible from any street, common area or adjacent property. Screening or buffering providing 100% opacity may be accomplished by the use of walls or PVC fencing along with landscape materials. Landscape materials alone may be utilized as long as there is 100% opacity.

Pools shall be enclosed by a screened enclosure or may be fenced with PVC fencing material. Fences must meet local ordinances and the design guideline requirements enumerated in Section Four.

The installation of pools at homes on corner lots will be considered by the DRC on a case-by-case basis.

Screened Enclosures

All screened enclosures shall be constructed with charcoal screen material and bronze frames. Mill-finish aluminum, white frames and black frames are not permitted. No aluminum roofing or sheet metal panels will be permitted. Flat roofs will not be allowed. Pitch of screen roof shall be shown on preliminary plans and shall be subject to approval of the DRC.

Pool enclosures cannot exceed one story without prior DRC approval. Pool screened enclosures may not extend beyond the side planes of the home as measured at the rear of the home.

Landscaping must be incorporated to help modulate and soften the overall appearance of the screened enclosure.

Section Three: Home Construction Standards

Roofs

All front elevations shall have a minimum of two roof breaks.

Homes with mansard and flat roofs will not be allowed. Pitch of roof shall be shown on preliminary plans and shall be subject to approval of the DRC. All required roof breaks and major roof ridgelines shall be a minimum pitch of 5:12. The major roof ridgeline shall be defined as the overall ridgeline as viewed from the front and both sides of the residence in elevation view. Minor roof pitches less than 5:12 may be considered by the DRC provided:

- a.) The reduced roof slope encompasses not more than a maximum of 20% of the total roof area, and
- b.) The reduced slope does not encompass any of the required roof breaks and major roof ridgelines as described above.

Major roof ridgelines that terminate in a gable end condition at the rear of the home are not permitted adjacent to Chapel Crossings' collector roadways and secondary roadways. Variations on specific designs may be used with DRC approval. The minimum soffit depth of twelve (12) inches is required with a minimum of a 6-inch fascia trim. Appropriate roof materials include cement tile, asphalt shingles and fiberglass shingles.

All roofs shall be of a material, color and texture approved by the Design Review Committee. Standing-seam metal roofs with baked-on color finish may be used sparingly for architectural accent. Red and blue asphalt or fiberglass roofs are prohibited. Green asphalt or fiberglass roofs shall only be constructed with DRC approval. All roof vents, plumbing stacks, flashings and metal chimney caps shall be painted to match the approved roof colors. Efforts should be made to place all vents and plumbing stacks on rear slopes of the roofs whenever possible.

Sidewalks

Entry walks to home must commence at the driveway and terminate at the front door/porch and not terminate at a neighborhood sidewalk. It shall be the responsibility of the homeowner to properly maintain sidewalks located within their property lines.

Windows

Windows in Chapel Crossings may be of either bronze or white aluminum framing.

Section Four: Landscape Standards

Landscaping

Landscape Architecture of each home site is extremely important for the maintenance of a visually attractive community and investment protection of the homeowners. To ensure the overall beauty of the community, the Design Review Committee (DRC) has the authority to approve or disapprove landscape plans for the single-family residential home sites.

It is the intent of the DRC to promote the use of mature landscape materials in sufficient abundance to establish aesthetically pleasing neighborhoods. The use of such materials provides Chapel Crossings with the appearance of an established, enduring community. The use of native and drought tolerant landscaping is encouraged. In addition, Pasco County and the Southwest Florida Water Management District promote the use of Xeriscape-type or Florida Friendly Landscape.

Guidelines:

A landscape plan and irrigation plan shall be prepared at a minimum scale of 1" = 20' and will be based upon the final site plan and architectural elevations of the residence. The landscape plan and irrigation plan shall be submitted to the DRC with Final Plans (when feasible) prior to construction activities on-site. All landscaping and irrigation shall be designed and installed in accordance with the Pasco County Landscaping and Irrigation Ordinance and DRC Landscape Guidelines.

Minimum requirements for landscaping are as follows:

1. The initial landscaping expenditure on each single family detached residential unit shall, at a minimum, be an amount equal to two per cent (2%) of the total selling amount of the dwelling unit including lot price.

For example, if the selling price of a home (including lot price) is \$200,000.00, then the landscape amount shall be \$4,000.00 for that dwelling unit. The foregoing sum is hereafter called the "landscape amount." The landscape amount for each lot shall include the expenditures for trees, shrubs, live plant material, including sod and street trees. The landscape amount does not include any expenditures on other hard-scape items or required irrigation system.

- a. The DRC reserves the right to review all landscape plans, unit prices and quantities to verify compliance with the intent of this provision.

Landscaping (continued on next page)

Section Four: Landscape Standards

Landscaping (continued)

2. Tree Requirements - The quantities of canopy trees and under-story trees are based upon the standard lot size within a neighborhood and are located within Section Six: Chapel Crossings Neighborhoods.

Trees shall be nursery grown and not field collected. Winter-dug, balled and burlap wrapped trees or containerized trees are acceptable. Grow bag or bare root trees are not acceptable. All trees and shrubs shall be Florida Grade No.1, or better, according to the "Grades and Standards for Nursery Plants," Parts I and II, State of Florida, Department of Agriculture and shall conform to American Association of Nurserymen standards for nursery stock.

Minimum size for canopy trees is 3-inch caliper, 14-foot to 16-foot height (minimum) by 6-foot to 7-foot spread (minimum) with a full canopy and straight trunk. Understory trees shall be 10 feet to 12 feet in height by 5-foot to 6-foot spread typical, however smaller accent trees may be approved by the DRC upon review of the Landscape Plan. Trees shall be measured at (4.5") above the ground, diameter breast height.

3. Street trees - Street trees, such as Live Oak, East Palatka Holly and Ligustrum (trimmed as trees) are the designated street trees in the Chapel Crossings neighborhoods. Please contact the Design Review Committee for the appropriate species in each neighborhood. In neighborhoods of lots forty feet (40') in width, street trees shall be planted on every other lot. In neighborhoods of fifty foot (50') and sixty foot (60') wide lots, street trees shall be planted on every lot. See "Street Tree Plan" available from DRC for 40-foot lot neighborhoods.

Street trees shall be planted in accordance with standards outlined in Item 5 Tree Planting. Street trees shall be a minimum size of 3-inch caliper, 14-foot height (minimum) and 6-foot spread (minimum) with a full canopy and straight trunk. No low forks will be accepted on street trees. Undersized trees shall be removed and replaced by the builder/owner when required by the DRC. Trees shall be measured at (4") above the ground, diameter breast height (DBH).

4. Tree Removal - No existing trees greater than four (4) inches in diameter at breast height shall be removed or cut without the approval of the DRC. Tree removal permits must be obtained in accordance with Pasco County regulations. Builders and homeowners shall comply with the Pasco County Tree Protection and Restoration Ordinance.

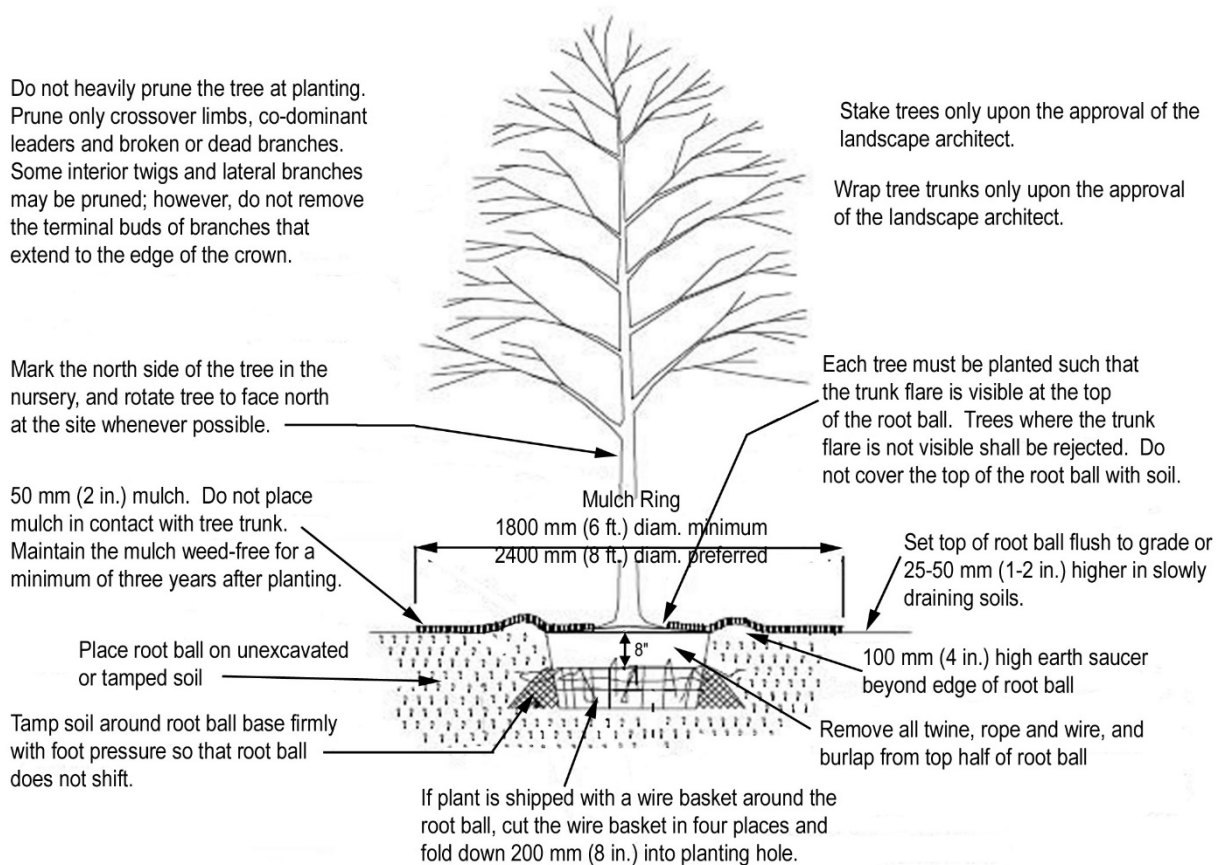
Landscaping (continued on next page)

Section Four: Landscape Standards

Landscaping (continued)

5. Tree Planting - Installation of all trees including street trees) shall be in accordance with the following International Society of Arboriculture Tree Planting Detail:

TREE PLANTING DETAIL - B&B TREES IN ALL SOIL TYPES



NOTE: This detail assumes that the planting space is larger than 2400 mm (8 feet) square, open to the sky, and not covered by any paving or grating.

Shrubs and Groundcover - Although the majority of the landscaping will be placed in the front of the residence, the DRC will be looking for moderate landscaping in all rear yards, on the street side of corner lots, and along the sides of the home as well as any screened enclosures. The minimum size for shrubs shall be 3-gallon container size with a height of 24". Accent shrubs are recommended to be 7-gallon to 15-gallon container size. The minimum size for groundcover is a 1-gallon container, and a 4-inch pot for annuals.

Landscaping (continued on next page)

Section Four: Landscape Standards

Landscaping (continued)

6. Spacing - Spacing of trees and shrubs shall be based on good horticultural practice and industry standards allowing for future growth of the plant materials with the maximum spacing for most shrubs being 30 inches to 36 inches on center. Spacing for hedges and screens may be 24 inches to 30 inches on center. Typical spacing for groundcover is 18 inches on center with 24 inches maximum.
7. Sod Requirements - The front and sides of the lot shall be sodded with St. Augustine "Floritam." Corner lots must always have St. Augustine "Floritam" sod installed along the street sides of the lot. Argentine Bahia sod is recommended for use in swales and low areas in order to provide turf areas that are more drought tolerant and require less irrigation. Argentine Bahia sod is acceptable in rear yards. Only solid sod shall be installed and no seeding, plugging or sprigging will be allowed.
8. Mulch - Dyed or artificially-colored mulch is prohibited. Pine bark mulch or pine straw is recommended. Mulch should be installed at a minimum of a three inch layer (3"). Rocks of natural colors (earth tones) are allowed but will be reviewed on a case-by-case basis.
9. Lots on Secondary Roadways - The DRC requires additional landscaping along the borders of lots along secondary roadways and neighborhood entry roads.
10. Prohibited Plant Material - The following trees and shrubs are prohibited in Chapel Crossings:

PROHIBITED PLANT MATERIAL

<u>Botanical Name</u>	<u>Common Name</u>
Casuarina equisetifolia	Australian Pine
Melaleuca leucadendron	Punk Tree
Schinus terebinthifolius	Brazilian Pepper
Melia azedarach	Chinaberry
Dalbergia sissoo	Rosewood
Fruit Trees	Bamboo (all species)

The use of citrus trees is discouraged and will be considered by the DRC on a case-by-case basis and only for installation in rear yards. A detailed plan must be submitted showing location, species and size of citrus tree. Trees that are listed by the Florida Exotic Pest Plant Council (FLEPPC) are also prohibited.

Other prohibited species: Any exotic flowering tree or exotic palm that is not cold tolerant. Such species may be allowed if it is placed in a portable container to be transported indoors by the homeowner during inclement weather.

11. A list of trees, shrubs and ground-cover with their respective drought tolerance is available from the Crown Community Development office upon request.
12. Information regarding Pasco County Ordinances may be obtained on-line at, <https://www.pascocountyfl.net/>

Section Four: Landscape Standards

Irrigation

All residential lots shall have installed an underground, fully automatic, 100% coverage irrigation system utilizing micro irrigation for 50% of the on-site greenspace.

1. The "Florida Irrigation Society" (FIS) Standards (6rd Edition, December 2017, as amended), should be used for all irrigation design and installation procedures, except where the requirements of the Pasco County Ordinances supersede the FIS standards.
2. An irrigation plan at a scale of 1" = 20' must be submitted to the DRC for review.
3. Irrigation of landscaping shall be accomplished through a master well system or the reclaimed wastewater system. Strict adherence to Chapel Crossings irrigation guidelines and Pasco County rules regarding usage is required. Check proposed plant materials for compatibility when reclaimed water is being used for irrigation.
4. In accordance with the Pasco County Ordinances, a maximum of fifty percent (50%) of the on-site greenspace (landscaping and turf grass areas) shall be allowed to utilize irrigation techniques other than micro irrigation. The irrigation system shall be designed to accommodate separate landscape plant zones based on differing water requirements. Sprays and rotors shall not be combined on the same irrigation zone. Turf areas shall be on separate irrigation zones from other landscape plant zones.
5. To prevent staining from irrigation water, all systems shall be designed to avoid overspray, runoff, or other similar conditions where water flows onto or over adjacent property, non-irrigated areas, walkways, roadways, structures, or water features. Narrow areas such as planting beds along the sides or rear of the home shall not be irrigated unless micro irrigation is utilized. It is recommended that street trees and canopy trees be provided with micro irrigation coverage on a separate zone for optimum controlled watering time.
6. Irrigation control equipment shall include an operable and functioning automatic irrigation controller (time-clock) having program flexibility such as repeat cycles and multiple program capabilities. Automatic irrigation controller(s) shall have battery back-up to retain the time and irrigation program(s). Automatic irrigation control systems shall be equipped with an operable and functioning rain sensor device with automatic shut-off capability. The rain sensor device shall be placed where it is exposed to unobstructed natural rainfall.

Section Four: Landscape Standards

Landscape & Irrigation Maintenance

1. It shall be the responsibility of the homeowner to properly maintain all trees including street trees, shrubs, groundcover, turf and irrigation. The landscape and irrigation system shall be maintained and managed to ensure efficient water use and to prevent wasteful practices. No over spray of walks, streets or adjacent property is allowed. Homeowners shall comply with watering times as mandated by Chapel Crossings, the Southwest Florida Water Management District and Pasco County.
2. In the event that any tree, shrub, groundcover or turf area exhibits signs of decline or pest infestation, the homeowner shall take immediate action to remedy the problem. If the tree, plant material or turf dies, then the homeowner shall immediately remove the dead material and replace with new material to meet the specifications of the original landscape plan. The homeowner may propose a substitute to the DRC for the material being replaced.
3. Homeowners are responsible for regular maintenance of the irrigation system on their lots. Irrigation maintenance includes but is not limited to: resetting the automatic controller according to the season; cleaning irrigation filters; testing and calibrating the rain sensor device; monitoring, adjusting and repairing irrigation equipment to ensure that the efficiency of the system is maintained. Grass should be cut away from spray and rotor heads (re-setting as necessary) for optimum spray pattern and trajectory.
4. Landscape maintenance includes, but is not limited to:
 - a. Removing guy-wires and supports from trees and palms after establishment of the root zones.
 - b. Replenishing mulch in order to maintain a 3" depth after compaction.
 - c. Fertilization and soil amendments for landscaping and turf according to industry standard practices for optimum growth and longevity.
 - d. Pruning of plant material on a monthly basis and cutting of turf grasses on a weekly basis at a height recommended by landscape professionals.
 - e. Homeowners on ponds must mow to the top of pond banks. Homeowners shall not mow in wetland, conservation or preservation areas per requirements of local, state and federal permits.

Exterior Lighting

Any exterior house lighting for aesthetic purposes shall be kept close to the exterior wall of the house. Lighting fixtures shall be carefully oriented to avoid directing light towards adjacent property and the street. No light trespass will be permitted onto adjacent properties. No colored light sources shall be allowed unless seasonal or temporary in nature.

Section Four: Landscape Standards

Fencing

The design criteria for fencing has been established to allow a more pleasing look throughout the neighborhoods. In order to preserve the views of neighboring homes, fence styles and heights are restricted.

- a. All proposed fence installations must be submitted to and approved by the DRC prior to installation (Form for DRC submittals is Owner/Resident Modification Submittal Form - Exhibit B.) A site plan/survey of the home site showing location of the home and location of the fence must be included in submittal.

The following are guidelines for fences within Chapel Crossings' neighborhoods:

PVC/Vinyl Fencing

1. Fencing shall be solid-wall white PVC/vinyl fence that is constructed from high-quality materials, stabilizers and modifiers throughout the entire extruded profile.
2. Six (6) foot "privacy" fencing with twelve (12) inch lattice panels are permitted as shown in exhibit on pages 21 and 22. All post caps are to be "traditional" style caps.
3. Four (4) foot "containment" fencing shall be a straight picket design with three (3) inch wide pickets and two (2) to three (3) inch spacing between pickets. Traditional-style post caps are required. An example is shown in exhibit on page 21.

Aluminum Fencing

1. Fencing shall be four (4) or five (5) feet high and constructed of black powder-coated aluminum.
2. Fencing shall have pickets that are 3/4" wide with 3 7/8" spacing between pickets. The fence shall have cross members located at top and bottom of pickets as well as a cross member located 5 1/8" below the top piece. (See page 21 for example.)
3. Black powder-coated aluminum fencing is allowed in all neighborhoods but will be reviewed on a case-by-case basis.

Locations for PVC/Vinyl Privacy Fencing

1. Privacy fencing allowed as side and rear yard fencing:
 - a. Rear yard privacy fences are permitted primarily where one home site adjoins another home site back-to-back or a home site is located along the outer perimeter of Chapel Crossings. Privacy fencing must be used on back-to-back lots where there is no retaining wall. If a retaining wall exists at the rear of the lot, aluminum fencing is allowed.

Fencing (continued on next page)

Section Four: Landscape Standards

Fencing (continued)

Locations for PVC/Vinyl Privacy Fencing (*continued*)

1. Privacy fencing allowed as side and rear yard fencing (*continued*):
 - b. All home sites may have privacy fences as side yard fencing with certain restrictions. All side yard fences shall start fifteen (15) feet behind the front plane of the house. If the home site is not eligible for rear yard privacy fencing, the privacy fence shall transition to containment-style fencing at the rear plane of the house. See following examples.
2. Fence locations on corner lots may be further restricted due to side yard visibility constraints, side yard setback restrictions, and the location of homes on adjoining property. Corner lots will be handled on a case-by-case basis.
3. Containment fencing is permitted on any home site. Side yard containment fencing shall begin fifteen (15) feet behind the front plane of the home.
4. No fences will be permitted in the front yard.
5. Fences may extend into landscape or drainage easements at the owner's risk.
6. Fences may extend into utility easements at the owner's risk.
7. Privacy may be achieved by landscaping with approved trees and shrubs instead of fencing..
8. Fence requirements in Chapel Crossings may be more restrictive than those contained in Pasco County's fence ordinance. The Chapel Crossings fencing design guidelines will prevail in this instance.

The DRC reserves the right to modify fencing requirements within each neighborhood.

Fencing (continued on next page)

Section Four: Landscape Standards

Fence Specifications

The approved PVC standard is solid-wall 100% white PVC/vinyl fence that is constructed from high-quality materials, stabilizers and modifiers throughout the entire extruded profile.

All fences must be approved by the Chapel Crossings Design Review Committee.

White PVC/Vinyl Privacy Fence



At Left:
Six-foot PVC privacy fence with twelve-inch lattice panel and traditional-style post caps.



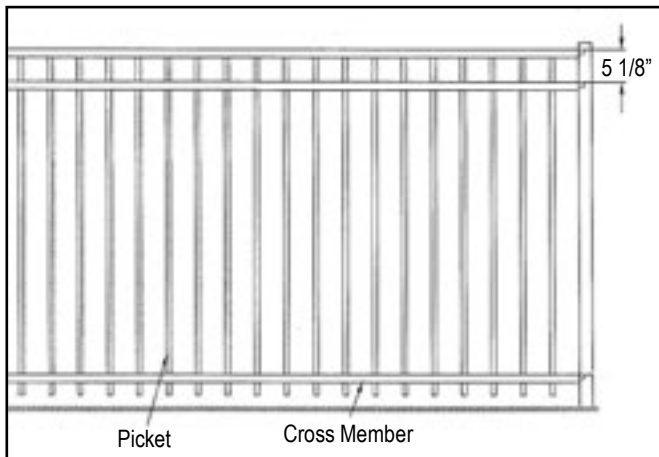
At Right:
Traditional-style PVC post cap.

The above fence is the permitted six-foot (6') privacy fence. Privacy fencing is permitted only in certain areas.

White PVC/Vinyl Containment Fence

The fence to the right is the approved forty-eight inch (48") containment fence. This style has straight pickets with traditional-style post caps.

1. Pickets shall be three inches (3") wide.
2. Spacing between pickets must be a minimum of two inches (2") or a maximum of three inches (3").

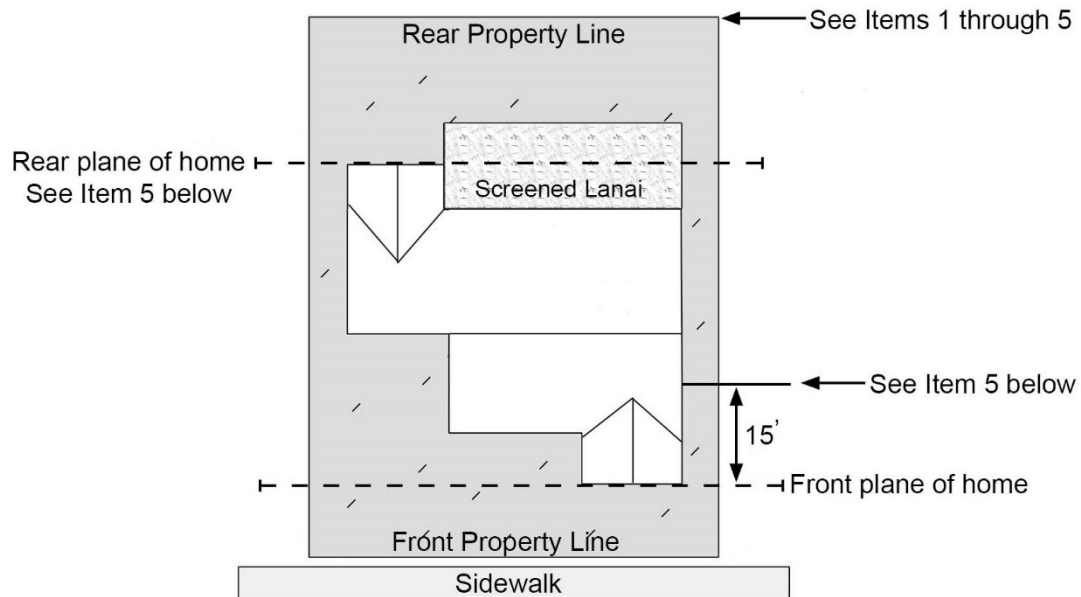


Black Powder-Coated Aluminum Fence

1. Fences may be 4' or 5' high.
2. Pickets shall be 3/4" wide.
3. Pickets shall be spaced 3 7/8" apart.
4. Cross-members shall be 1.25" wide.
5. Distance from top cross-member to second cross-member shall be 5 1/8".
6. Posts shall be 2" wide.
7. Aluminum fencing is permitted in all neighborhoods.

Section Four: Landscape Standards

Fence Specifications (continued)



1. Privacy fencing is not allowed in rear yards where home sites abut wetlands, ponds, conservation or selected common areas. This is to protect the view corridor of the neighboring homes.
2. Fences may not be installed in such a way as to damage retaining walls or prohibit maintenance of retaining walls.
3. Where back-to-back lots occur and there is no retaining wall at the rear property lines, only six-foot (6') white PVC fencing may be installed. Where there is a retaining wall, aluminum fencing may be installed.
4. All home sites may have privacy fencing as side-yard fencing. All side yard fences shall start fifteen (15) feet behind the front plane of the home. If the home site is not eligible for rear yard privacy fencing, the privacy fence shall transition to containment-style fencing at the rear plane of the home.
5. Fences installed in landscape easements, drainage easements or utility easements are installed at the owner's risk.
6. Fences are not permitted in the front yard.
7. Fencing on corner lots or abutting common areas will be handled on a case-by-case basis.

Design Review Submittal Requirements:

- a. All proposed fence installations must be submitted to and approved by the DRC prior to installation. Use Owner/Resident Modification Submittal Form – Exhibit B. A site plan/survey of the home site showing location of the home and location of the fence must be included in submittal.
- b. The fee for the review of a fence installation is \$25.00 payable to the Chapel Crossings Property Owners' Association, Inc. The DRC may take up to fourteen days to review the submittal.

Section Four: Landscape Standards

Screening and Buffering

1. Water softeners, sprinkler controls, trash containers, and other similar utilitarian devices must be fully screened from view and not visible from roadways, adjoining property and common areas.
2. Screening or buffering may be accomplished through the use of walls along with landscape materials. Landscape materials alone may also be utilized as long as there is 100% opacity.
3. Air conditioning units shall be shielded and hidden so that they are not readily visible from roadways, common areas or adjacent parcels. No window or through wall air conditioning units shall be installed in any residential unit.

Walls

Walls will be under scrutiny of the Design Review Committee to comply with design compatibility and shall be in keeping with the architectural style and materials used in the neighborhood. Approval of walls by the DRC will be on a case-by-case basis.

Retaining walls will be faced with the same material as the structure it is in contact with or shall be made of compatible materials. It is recommended that walls be constructed of solid masonry. No walls will be permitted in the front yard.

Section Five: Other Standards

Antennas & Satellite Dishes

All exterior antennas, microwave antennas and all satellite dishes in excess of one meter in diameter are prohibited in Chapel Crossings with the preferred size being eighteen inches in diameter or less. Satellite dishes should be painted to match the part of the home adjacent to the dish. For satellite dishes less than one meter in diameter, prior to installation homeowners shall submit detailed plans for review and approval. Plans of all proposed installations shall be properly scaled and dimensioned. The DRC approval shall be consistent with FCC rules implementing Section 207 of the Telecommunications Act. Dishes may not be placed on the front of the home. Other locations on the home, on the deck, or freestanding must be shown in the submission to the DRC with all dimensions, heights and screening that will be done. The goal of these requirements are established is to assure the safest possible location and operation of satellite dishes while preserving consistent aesthetic standards.

Clotheslines

The placement and type of clotheslines and clothes poles for the outdoor drying of clothes is subject to review by the DRC.

Flags

Freestanding flagpoles are not allowed. The American flag may be displayed on a pole mounted on the front of a house. It is recommended that the flag be no larger than 3 feet by 5 feet. Flag must be neat, tidy and not frayed or faded.

Garbage Containers

Garbage containers shall be stored inside the garage or shall be fully screened from view.

Golf Carts

Golf carts are prohibited on the roadways and common areas within Chapel Crossings.

Preparations for Inclement Weather

At times, the National Weather Service will issue alerts and warnings for our area regarding tropical storms or hurricanes. Residents are urged to take all possible precautions to secure homes and their property. Many local publications are available providing checklists and information for hurricane preparedness

Storm shutters, plywood or tape to protect windows and sliding glass doors, may be installed five (5) days before an impending storm. The timing is based upon the National Weather Service or Hurricane Center's projected time of arrival of a storm. Protective devices should be removed within five (5) days after a storm has passed through the area.

Section Five: Other Standards

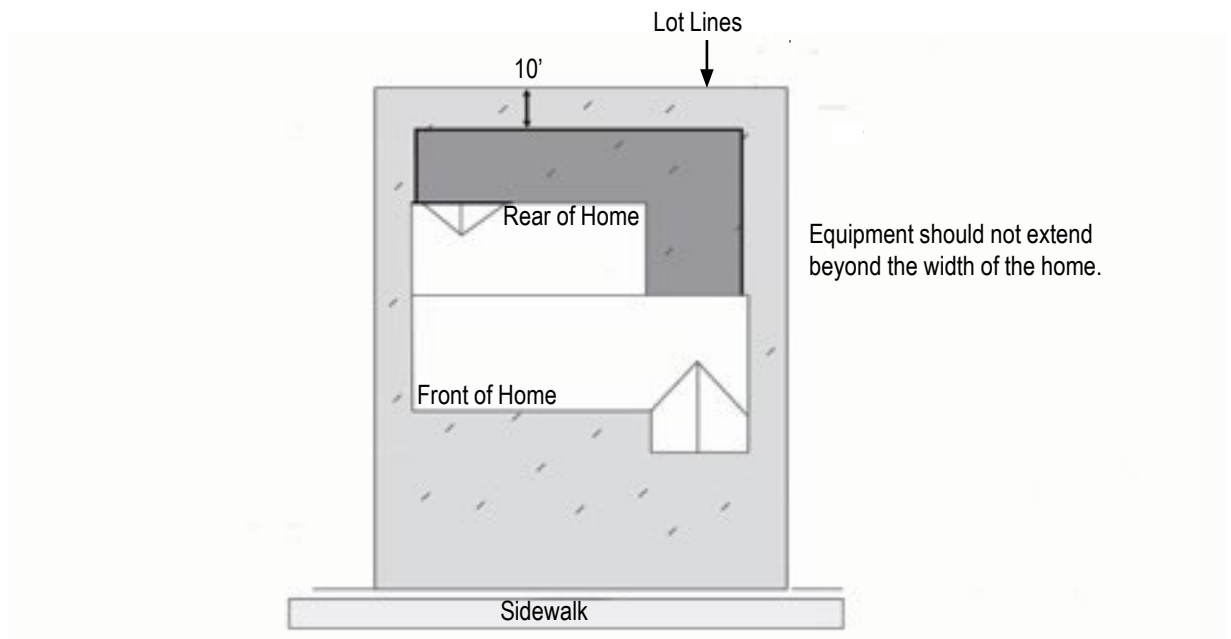
Propane Tanks

The installation of propane tanks is subject to approval of the DRC. It is recommended that all propane tanks be buried in front yards. The builder is responsible for contacting the utility locating service prior to digging. Tanks must be located outside of easements, and any gauges or other devices appearing aboveground must be screened in the front and on the sides by landscaping. The builder and/or homeowner shall be responsible for any damage to streets, sidewalks, landscaping or irrigation systems, and underground utilities, electric lines, telephone lines, cable television lines, potable water lines, reclaimed water lines, sanitary sewer lines, storm sewer lines and inlets during installation of tanks or during gas delivery or servicing of tanks.

The builder and/or homeowner shall be responsible for any surcharges imposed by any utility company due to the installation of propane gas service to the home. The builder and/or homeowner are responsible for contracting with reputable, insured propane gas companies.

Recreational Items

1. **Play equipment** shall be allowed but will be considered on a case-by-case basis. All play equipment must be submitted and be approved by the DRC prior to installation. See instruction for submittal on page 26. Play equipment shall be located in rear yards only, must not be visible from the street, and should not extend beyond the width of the home. Equipment must be located at least ten feet (10') from the rear property line. The equipment must be placed so that the views of neighboring residents are not affected. Screening with an approved fence or landscaping is required.



Recreational Items continued on next page

Section Five: Other Standards

Recreational Items *(continued)*

2. **Basketball Standards:** All proposed basketball standard installations must be submitted to and approved by the Design Review Committee prior to installation. (See Modification Form – Exhibit B.) Instructions for submittal are on page 26.

The only type of basketball standard approved for Chapel Crossings includes a backboard made of clear acrylic in a rectangular or fan shape. Only black metal poles are allowed and must be installed in a location based on one of the following:

- a. A minimum of 15 feet from the lot side of the public sidewalk and along the outside edge of your driveway; or
- b. Rear yard installations may be approved on a case-by-case basis. The backboard may be installed directly on the face of the garage above the garage door on side-load garages only. No other front yard and no side yard locations will be allowed. Portable basketball standards are allowed but must meet the same color and location standards as permanently installed standard.

Note: Clear backboards and black poles tend to blend into their surroundings and are less noticeable, providing a neat, uniform appearance throughout the entire community.

3. **Accessory Buildings:** Playhouses and other freestanding structures must be approved in writing by the DRC prior to construction. No storage sheds or greenhouses are permitted.

Accessory buildings are to be located as described and shown in exhibit above for Recreational Items.

4. **Submittals for Approval of Recreational Items and Accessory Buildings**

- a. Please complete Owner/Resident Modification Submittal Form – Exhibit B. Include the following:
- b. One copy of a final survey indicating the location of the house on the lot with the proposed play equipment, accessory building or basketball standard in relationship to the existing house and all adjacent property lines. The survey must be drawn to scale and be fully dimensioned.
- c. A color photo, brochure, catalog cut sheet and the exact make and model of the proposed item(s). Provide a scaled drawing depicting the accessory building.
- d. A description of the exterior of the building specifying roofing, siding and trim materials and colors. The building must match the architectural style, materials and color of the main home.
- e. Plan indicating the specific plants proposed as landscape screening, including height and spacing at installation, quantity and species. Also identify landscaping on neighboring lots which could be impacted by the installation and provide a hedge or other means of protecting neighboring landscaping.

Section Five: Other Standards

Temporary Storage Containers

PODS and other temporary storage containers are allowed subject to the following conditions:

1. There must be only one storage container at a residence at any time.
2. The storage container shall not be placed on the sidewalk or on any roadway.
3. Containers may not remain at a residence longer than ten days.

Tennis Courts

Private tennis courts are not allowed.

Section Six: Chapel Crossings Neighborhoods

Lot Layout & Setback Requirements

STRUCTURE MINIMUM SETBACKS

Neighborhood	Village	Front Setback	Side Setbacks	Side Yard Setback for Corner Lot	Rear Setback
Asbury – 40	G-2	20'	5'	20'	15'
Asbury - 50	G-2	20'	5'	20'	15'
Maydale	C	20'	5'	20'	15'
Newberry	E	20'	5'	20'	15'
Pendleton	A	20'	5'	20'	15'
Riverston	B	20'	5'	20'	15'
Timberdale*	G-1	20'	5'*	20'	15'
Westbury	D	20'	5'	20'	15'

Front setbacks from road R.O.W.'s should be staggered to provide variety and create a less regimented and monotonous streetscape.

For 40' home sites, side setbacks may be reduced. The Chapel Crossings MPUD outlines various conditions that must be met (including installation of gutters on all sides of the home) if side setbacks of less than 7.5 feet are utilized. Please consult Chapel Crossings MPUD, Pasco County Land Development Code Section 902.2.K.2.b, and approved construction plans for all conditions.

*A distance of 15 feet is required between villa buildings.

Section Six: Chapel Crossings Neighborhoods

Lot Layout & Setback Requirements (continued)

POOL/ENCLOSURE SETBACKS

Neighborhood	Side Setback	Rear Setback
All single-family home neighborhoods	Must match the structure	5'

Maximum Building Coverage

Maximum building coverage shall be no greater than 65% of total lot area for single-family residences.

Minimum Square Footage

Square footage is limited to heated and air-conditioned space, exclusive of porches, garages and decks. Housing units shall have the following minimum square footage requirements:

Neighborhood	Village	Minimum Square Footage
Asbury – 40	G-2	1,500 square feet
Asbury – 50	G-2	1,500 square feet
Maydale	C	1,500 square feet
Newberry	E	1,500 square feet
Pendleton	A	1,500 square feet
Riverston	B	1,700 square feet
Timberdale	G-1	1,500 square feet
Westbury	D	1,700 square feet

Maximum square footage will be at the discretion of the Design Review Committee.

Section Six: Chapel Crossings Neighborhoods

Tree Requirements

Canopy Trees and Understory Trees - Within the Chapel Crossings neighborhoods, there are minimum requirements for canopy trees and under-story trees on each lot.

Neighborhood	Village	Canopy Tree Requirement	Understory Tree Requirement
Asbury – 40	G-2	Two	One
Asbury – 50	G-2	Two	One
Maydale	C	Two	One
Newberry	E	Two	One
Pendleton	A	Two	One
Riverston	B	Two	One
Timberdale	G-1	Two	One
Westbury	D	Two	One

1. As an option, one canopy tree may be replaced by a grouping of palms at the ratio of three (3) palms (10' clear trunk) equaling one (1) canopy tree. Additional palms may be planted on-site, however, they will not count towards meeting the canopy tree requirement.
2. Existing trees may count toward meeting the minimum requirements.
3. Street trees along roadways do not count toward meeting the minimum requirements. Minimum size for canopy trees is 4-inch caliper, 14-foot to 16-foot height (minimum) by 6-foot to 7-foot spread (minimum) with a full canopy and straight trunk. Under-story trees shall be 10 feet to 12 feet in height by 5-foot to 6-foot spread typical, however smaller accent trees may be approved by the DRC upon review of the Landscape Plan. Trees shall be measured at (4") above the ground, diameter breast height. (DBH)

Street Trees - Street trees are required in all neighborhoods. See Section Four: Landscape Standards, for additional requirements and specifications for street trees.

See **Section Four: Landscape Standards**, for additional tree specifications.

Exhibit A

Builder's Design Review Committee Submittal Form Chapel Crossings Property Owners' Association

Date of Submittal

Submitted By: _____

Mailing Address: _____ Home Phone: _____

_____ Cell Phone or Email Address: _____

Neighborhood: _____ Lot #: _____ Block #: _____

Lot Address: _____ Fee Submitted: _____

(The top section of each page must be filled out for every submittal.)

To be completed by Builders Only

Model Name: _____ Elevation Name: _____

Buyer's Name: _____ Lot & Home Package Price: _____

Home Square Footage: _____ Lot Area: _____ sq. ft.
(Dwelling Only: Excludes driveway, pool, etc.)

% Building coverage: _____

All four packages may be submitted singly or batched together but each package must include all items listed. Incomplete packages will be returned without review. All four packages must be received before final Design Review approval can be granted.

1.) Plans Package: Faxed or emailed plans are not acceptable *(Check items being submitted.)*

- Survey/Site Plan - 1 copy (Must be scalable, fully dimensioned and include all front, rear and side yard setbacks, and the proposed driveway location.)
- Elevations - 1 copy (All four elevations must be represented.)
- Floor Plans - 1 copy

2.) Landscaping Package: Faxed or emailed plans are not acceptable *(Check items being submitted.)*

- Landscaping Plan - 1 copy (scalable plans provided by Pasco County approved professionals.)
- Plant/Cost Listing - 1 copy (Must include size, quantity, unit cost and quantity of sod.)

3.) Fence, Patio, Pool or Screened Enclosure Package:

Type of Submittal

- Fence: Privacy: _____ Containment: _____ Aluminum: _____
- Deck or Patio: Type of Material _____ Finish/Color _____
- Pool Screened Enclosure: Bronze frames with charcoal screen.

Submission: Faxed or emailed plans are not acceptable *(Check items being submitted.)*

- Site Plan - 1 copy *(Must be scalable and fully dimensioned. Should accurately depict proposed locations in relationship to house, easements and lot lines.)*
- Detailed Construction Drawings - 1 copy

Builder's check should be payable to **Thornwood Associates, LLC**

Exhibit A

Builder's Design Review Committee Submittal Form Chapel Crossings Property Owners' Association

Date of Submittal

Submitted By: _____ Neighborhood: _____

Lot Address: _____ Lot # _____ Block # _____

Model Name: _____ Package Name/#: _____

4.) Color Selection Package

Item Being Submitted	Material	Manufacturer's Color Name	Manufacturer's Color Number	Manufacturer
Roofing				
Building Body				
Fascia				
Trim				
Soffit				
Stone				
Brick				
Entry Door				
Garage Door				
Shutters				
Driveway				
Entry Walk				
Stoop				
Window Frame		White or Bronze*		
Gutters				
Chimney				
Screen Enclosure	Bronze Frames	Charcoal Screen		
Exterior Lighting				
Fence				
*Circle One				

NOTE: **Color Selection Package** cannot be accepted prior to submittal of the **Plans Package**. Builder will be notified if color samples are required for the review. If color package is indicated, any items that are not a part of the package still need to be itemized.

Exhibit B

Owner/Resident Modifications Submittal Form Chapel Crossings Property Owners' Association

Date of Submittal:

Name: (Please Print) _____

Chapel Crossings Address: _____

Chapel Crossings Neighborhood: _____ Lot ____ Block ____

Current Mailing Address: _____
(if different from above)

Phone: Home # _____ Cell # _____

Email Address: _____

Design Review Fee: _____ Date Paid: _____ Check #: _____

Modification(s) Requested: To Exterior of Home or Lot

(1) _____

(2) _____

(3) _____

Additional Comments or Information: _____

All modifications or additions to the exterior of a home or lot in Chapel Crossings must be reviewed and approved by the Design Review Committee prior to construction. Please include all information needed to fully describe the type of modification you are requesting. (Examples: Most submittals will require one copy of a final survey of your home and lot indicating the location of the addition or modification and the distances to all property lines. Complete construction details are required for decks, patios, gazebos, fences, room additions, etc. Landscaping modifications should indicate location and type of plants. Changes of exterior colors will require a color sample.)

Some types of additions or modifications may require a building permit from Pasco County. Please check with them before beginning your installation.

Fees for modifications are payable to the Chapel Crossings Property Owners' Association, Inc.

For further information, call the Association at (813) 994-2277. Written specifications and/or special instructions for the type of modification you are requesting will be provided to assist you with your submittal. Design Review Committee meetings are held on a regular basis and a written report of review results will be mailed to you.

Modifications or additions may not be started without prior Committee approval.

Exhibit C

Mail Kiosk (Typical)



The number, design, locations and materials for Mail Kiosks are subject to review and approval of Crown Community Development